DEFINITIONS & REPORT LEGEND (in accordance with A.S 4349.1) 1. Major Defects MAJ These are defects in building work that- a) Could result in water penetration of a building : or	Remeworthy Inspection services
<ul> <li>b) Could adversely affect the health or safety of occupants of a building : or</li> <li>c) That adversely affects the structural adequacy of a building</li> <li>d)Would require significant expenditure to rectify or bring to a reasonable standard.</li> <li>2. Minor Defects MIN</li> </ul>	Authorised Building Inspector Bob Stemberg P.O. BOX 1062, Warwick QLD Ph: 07 4666 6190   Fax: 07 4666 6190 Email: homeworthyinspections@outlook.com Mob: 0429662492 ABN: 27 226 300 149
This refers to any defect that -a) Is not a major defect eg. hair-line	DE DUDCHAGE DUU DINC DEDORT
cracks in cornices, doors sticking, shrinkage cracking generally etc; or -b) Is deemed reasonable when considering the age type and standard of the building.	PRE PURCHASE BUILDING REPORT         Inspection: 15-12-2016       Our ref: 15122106         Inspector: Bob Sternberg       PH:
<b>3.</b> Access Unavailable AU This refers to areas of the building that could not be accessed for any particular reason & as such was not inspected.	PLE SAMPLE SAMPLE MOBILE:
4. No Fault Found NF This refers to areas of building work inspected but no "minor" or "major" defects identified.	SITE ADDRESS: PLESAMPL REAL PROPERTY DESCRIPTION: Present on Site: PLESAMPL
5. Not Applicable NA This refers to building work not covered or considered to form part of this report.	Type of Building:       Low set timber clad & Iron roofed dwelling on timber stumps.         Type of Inspection:       Pre-Purchase Building Report         Build Age (ESTIMATED):       50 years
<ul> <li>6. Not Inspected NI This refers to building work not inspected &amp; not included in this report format.</li> <li>7. See Further Notes SFN This refers to specific areas were the</li> </ul>	Background Information: RE Agent meeting all @ 4.00 PM for access. ADDITIONAL COMMENTS: SAMPLE SAMPLE SAMPLE
inspector believes that more information is to be given.	PLE SAMPLE SAMPLE SAMPLE SAMPLE
MPLE SAMPLE SAM	PLE SAMPLE SAMPLE SAMPLE SAMPLE

BUILDING EXTERIOR	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	SAMPLE SAMPLE SAMP SAMPLE SAMPLE SAMP
FOUNDATIONS / FOOTINGS	TE	7	AM-	ALE	-S/	AM	PLE	Repack various stumps to level as required. Considered normal for the age on timber stumps.
MASONRY WALLS	KLE.	51	<b>WI</b>	r L E	1	AM	PLE.	SAMPLE SAMPLE SAMP
EXTERNAL CLADDING	LE	1	M	PLE	SI	AM	PLE	Various dry rot evident in the timber corner stops present Replace prior to repainting.
EXTERNAL DOORS	1LE	1	AM	(LE	21	-VIVI	PLE	Minor easing of clearances prior to repainting.
WINDOWS & AWNINGS		4	AMI AMI		-S/	АМ Ам		Various replaced alluminium windows where there is nil overhang requires a flashing to prevent water penetration Remedy prior to repainting.
SOFFITS	his	1	(AA)	DIE	C	<u>л л л</u>	DIE	Various loose timber trim exist repair prior to repainting.
FASCIAS		1	VIVI		-57	VIVI		Minor dry rot evident , repaint.
GUTTERS / DOWNPIPES	イLE PL間	1		PLE PLE	S/	AM AM	PLE	Suggest improve the existing gutter outlets during the roo replacement. Complete downpipes to rubble pits away from the builing lins minimum 3 Metres.
ROOFPLE SAMI	~	S/	M	PLE	S	AM	PLE	Various replaced sheets of corrogated iron, the denting and previous leakage stains indicates that it is time to consider full replacement.
PAINTED SURFACES	PLE PLE	1		REE.	S	AM AM	PLE	Finishes are just starting to crack & peel. Recommend repainting prior to a larger project.
BATTENING	DIE	CI	<u>к</u> к л 1	DIE	1	A A A	bile	SAMPLE SAMPLE SAMP
PLUMBINGLE SAM	PLE	5	AM	PLE	S/	~	PLE	External toilet & Laundry exists. This structure has asbestos containing materials, only licenced removalists are to take from site should this be considered for demolition.
PERGOLAS/ PATIO		4	M	PLE	-S	NM NM	PLE	Light weight patio roof exists along the front of dwelling. In fair condition.
		SA	AMI	PLE	S.	AM	PLE	Rear awning flashing requires refitting to seal and waterproof this celling below. Evidence is apparent from previous leaks.
FLASHINGS - WINDOWS	LE.	1	M	PLE	SI	AM	PLE	Recommend flashing to becinstalled at windows of extension as nil protection is afforded to prevent leakage.
STAIRS / STEPS	PLE PLE	4	AMI AMI		SI	AM	PLE	Minorcrepairs required to rear timber treads, as required prior to painting.
COMMENTS: SAM	<sup>S</sup> LE	SI	AM.	PLE	SI	AM	PLE	SAMPLE SAMPLE SAMP
AMPLE SAMI	PLE	S/	M	PLE	S7	AM	PLE	SAMPLE SAMPLE SAMP
AMPLE_SAMI	PLE	S/	M	PLE	S	AΜ	PLE	SAMPLE SAMPLE SAMP
FLOOR/FRAME	MAJ	MIN	AU	PINE	NA	N	PHOTO	SAMPLE COMMENTSLE SAMP
AMPLE SAMI	PLE	SA	M	PLF	SI	MA	OR NO	SAMPLE SAMPLE SAMP
DRAINAGE / VENTILATION	PLE	3/	M	PLE	S	AM	PLE	Maintain in a clear state , particularly clear away the front gardens from the building.
CONCRETE SLAB	<b>PLF</b>	SI	M	PLF	1	AM	PLE	SAMPLE SAMPLE SAMP
SUPPORT POSTS SAM	1	S/	M	PLE	S	AM	PLE	Pack the extension bearer to remove bounce. Currently the floor is not supported within the centre of the sunroom.
BEARERS / JOISTS	2 F	SI	M	¢ √=	S	MA	PLE	Minor typical undulations in levels observed.
PLUMBING / DRAINS	PIF	-51	M		S	1	bi E	New PVC plumbing drains installed in areas.
BRACING LE SAMI	PLE	S/	M	PLE	S	AM	PLE	Typical of construction at the time, no visible faults
TIE-DOWNS DEBRIS / MATERIALS	PLE	-5/	M	PLE	-5/	M	PLE	observed. Maintain the subfloor freecof debris at all times.
DEDRIS / MATERIALS	V	120						manitani the subnoor freecor debris at an times.
AMPLE SAM		SI	$\Delta N/H$			$\Delta M$	PIF	SAMPLE SAMPLE SAMP

ent.



Nil apparent.

INTERIOR - GENERAL LIVING AREAS	MAJ	MIN	AUP	NF	NAA	M	PHOTO YES OR NO	HALLWAT	LO			AND A REAL PROPERTY OF A
LOOR FINISH	LE	1	MP	LE	SA	MI	LE	SAMPI	LE.	SAN	/PL	e sampl
	LE	SA	MP	LE	SA	M	1LE	SAMP	LE	SAI	ЛРЫ	e sampl
	1 E	YA	MP	TE	SA	M	PLE.	SAMP	F	2SAI		e sampi
DINERY LE CAME	IE.	C A	MD	1	Q.A	M		SAMD	E	SAN	ADL	E SAMPI
VINDOWS	free free	1	NA D		C A	N A F		CAMP		3		
OORS LE SAIVIE	LE	~	IVIP	LE	SF	IVII	<u>ILF</u>	SAMPI	<u> </u>	4DAI	NPL	E PAIVIPL
ORNICES _ SAMP	LE.	1	MP	LE	SA	MI	<u>ilt</u>	SA1,2/PI	<u>LE :</u>	1,2 A [	/P 1,2	ε βάμρι
	E	1	MP	LE.	SA	M	PLE_	SAMP	LE_	SAN	APL	e sampi
PAINT WORK	F	SA	MP	1E	SA	MF		SAMPI	F	SAN	APL	E SAMPI
HARDWARE		SA	MP	V V	SA	M		SAMP	F	SAN	лрп	E SAMPI
FIXTURES/FITTINGS	N. C	GA	AAE	~	C/	N/T		SAMD		CAN	ADE	
1 ) Minor mark & Blemishes pr	resent fo	r the ag	je.	12E	SF	VIVII		SAMP		SAN	APL	E SAMPL
2 ) Various loose trims refix pr	ior to re	painting	g.		SP	(M)	'LE	SAMP	LE	SAN	NPL	e sampl
3 ) Some evidence of moisture		IS A	NAPE	ut head	flashin	us insta	illed exte	SAMP	LE	SAN	APE	e sampi
MPLE SAME	M E	SA	MP	LE	SA	M	PLE	SAMP	LE	SAN	<b>APL</b>	e sampl
4 ) Ease all door clearances pri	or to rep	painting	MP	TP	SA	M	21 F	SAMP	F	SAN	ЛРП	E SAMPI
MDIE CAME	DIE	C A	MD	L C	C A	AAE	DIE	CAMD		SAA		
A ATS MEL C A A AU	1			6.3	0		100	IC A S ADI		CAS	ADI	CARADI
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							-E/	SAMPI			APL	e sampl
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		127						CAMDI		C AN		
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MARSAMI	LE	AA	MP					SAMPI		SAM		E_SAMPL
MALE SAME	21-1-		MP					SAMP		SAA	ADI	SAMPI
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LADE CARA	he.	SA		1.5	. dag							EL CAMPI
hoto 21 Lounge with fireplace.		S A	MD		SA	Phot	o 22 Loui	nge/ Dining archw	vay	CAN	1DL	
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FLOOR FINISH         WALL LININGS         JOINERY         WINDOWS         DOORS / ROLLER / TILT ETC.         CORNICES / CEILING LININGS         PAINT WORK         COMMENTS:         INTERIOR ROOF SPACE         ROOF FRAMING         INSULATION/SARKING         PLUMBING         COMMENTS:		SA			A A A A A A A A A A A A A A A A A A A		PHOTO YES OR NO	COMMENTS
INTERIOR ROOF SPACE		SA SA SA SA MIN			× × × × × × × × × × × × × × × × × × ×		YES	Paint finish pealing in places, recommend painting in due course prior to further deterioration.
WINDOWS DOORS / ROLLER / TILT ETC. CORNICES / CEILING LININGS PAINT WORK COMMENTS: INTERIOR ROOF SPACE ROOF FRAMING INSULATION/SARKING PLUMBING		SA SA SA SA MIN			XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX		YES	Paint finish pealing in places, recommend painting in due course prior to further deterioration.
DOORS / ROLLER / TILT ETC. CORNICES / CEILING LININGS PAINT WORK COMMENTS: INTERIOR ROOF SPACE ROOF FRAMING INSULATION/SARKING PLUMBING		SA SA SA SA SA MIN	MF MF MF MF		V V V V V V V V V V V V V V V V V V V		YES	due course prior to further deterioration.
CORNICES / CEILING LININGS PAINT WORK COMMENTS: INTERIOR ROOF SPACE ROOF FRAMING NSULATION/SARKING PLUMBING		SA SA SA MIN SA			S S S NA		YES	due course prior to further deterioration.
PAINT WORK COMMENTS: INTERIOR ROOF SPACE ROOF FRAMING NSULATION/SARKING PLUMBING		SA SA SA MIN SA			S/ S/ NA S/ S/		YES	due course prior to further deterioration.
COMMENTS: INTERIOR ROOF SPACE ROOF FRAMING NSULATION/SARKING		SA SA SA MIN SA			SISI		YES	SAMPLE SAMPLE SAMP SAMPLE SAMPLE SAMP SAMPLE SAMPLE SAMP SAMPLE COMMENTS SAMPLE SAMPLE SAMP Minor undulations present in pitched hardwood roofin members, commensurate with time of original construction.
INTERIOR ROOF SPACE ROOF FRAMING NSULATION/SARKING		SA			SISI		YES	Minor undulations present in pitched hardwood roofin members, commensurate with time of original construction. Nil installed.
ROOF FRAMING NSULATION/SARKING		SA			SISI		YES	Minor undulations present in pitched hardwood roofin members, commensurate with time of original construction. Nil installed.
ROOF FRAMING NSULATION/SARKING PLUMBING		SA			SISI		YES	Minor undulations present in pitched hardwood roofin members, commensurate with time of original construction. Nil installed.
ROOF FRAMING NSULATION/SARKING PLUMBING		SA			SISI		YES	Minor undulations present in pitched hardwood roofin members, commensurate with time of original construction. Nil installed.
ROOF FRAMING NSULATION/SARKING PLUMBING		S A A A A A A A A			36			Minor undulations present in pitched hardwood roofin members, commensurate with time of original construction. Nil installed.
NSULATION/SARKING		STA SA SA SA			36	M M M M		members, commensurate with time of original construction. Nil installed.
		SA SA SA SA SA SA			36			SAMPLE Nil installed. LE SAMP
		SA SA SA	MP		36	M/		SAMPLE Nil installed. LE SAMP
COMMENTS: SAMP AMPLE SAMP AMPLE SAMP		SA SA SA	MF	PLE PLE	S/	NVI VIV	DIF	SAMPLE SAMPLE SAME
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					A DEL TO DE COMPANY			MP ANP
Photo 15 The structural hardwood T ondition.	Timber Pi	itched f	framing	is gene	erally in	good	Photo 16 S	Struts positioned into the internal load bearing wall satisfactoria

		SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE		SAMPLE	SAMPLE SAMPLE		
Photosss12 There extension. This sh risk for entry by te	is a pile of concrete & si ould be removed away for rmites.n	and blend piled under the rom the floor timbers as	e front RH it poses a of support.	d as such the extension	p to the gravel pile is no surroom floor is bounch SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE	SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE SAMPLE	
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SITE EXTERIOR	MAJ	MIN	AU	NF	NA	NI	SFN	SAMPLE COMMEN	ITS	SAMDI
NEIGHBOURING PROPERTIES	La La	51		LE	-51	$\checkmark$		CAMPLE SAN	DLE	CAMP
SITE DRAINAGE		1	M		SI			Redivert rear RH corner downp stumps		rom the timber
TREES & GARDENS	LE	4	MF	LE	S/	MF	PLE	Minor trim of gardens away fr propert		ont LH side od
FENCES PLE SAME	LE	51	ME	LE	SA	MF	LE	Various dilapidated iron fencin places. RH side portion of Colu conditio	ourbond fe	de, chainwire in encind in good
CUT & FILL	1LE	SP	MH	1E	7	WH	LE	SAMPLE SAW	IPLE	SAMPL
POOL PLE SAME	LE	SA	MF	'LE	1	(MF	TE	SAMPLE SAM	IPLE	SAMPL
GARAGES, OUTBUILDINGS.	LE	"SA	MF	LE	81	MF	PLE	SAMPLE SAN	IPLE	SAMPL
RETAINING WALLS	PLE	SA	MF	1E	3/	MF	PLE.	SAMPLE SAN	IPLE	SAMPL
DRIVEWAYS & PATHS	TEL	1	MAE	4 F	SI	MF	I F	CAMD Nil constructed f	rom street	SAMPL
COMMENTS:	LE	SA	MP	LE	S/	\MF	PLE.	SAMPLE SAN	IPLE	SAMPL
AMPLE SAME	PLE	SA	MF	NE	S7	\MF	PLE	SAMPLE SAN	IPLE	SAMPL
AMPLE SAME	PIF	SA	MF	h-E.	S/	MF	2LF	SAMPLE SAN	IPI F	SAMPI
F SAME		Wirson			SI	111				C ITPI
										SAMPI SAMPI SAMPI SAMPI SAMPI SAMPI
Photo 3 Carport on RH front side					Starting Starting	Pr	noto 4 Fr	nt entry timber treads.	PLE PLE PLE PLE PLE PLE PLE	SAMPI SAMPI SAMPI SAMPI SAMPI SAMPI
AMPLE SAMP	2LE	SA	MP		S/		LE	ont entry timber treads.	IPLE	SAMPL SAMPL SAMPL SAMPL SAMPL SAMPL SAMPL SAMPL
Photo 3 Carport on RH front side	PLE PLE	SA SA	MF MF		S/ S/		PLE	SAMPLE SAM	IPLE IPLE IPLE	SAMPL
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JOINERY WINDOWS	SAMP SAMP			LE	SA SA	MP		SAMPLE	<sup>2</sup> SAMPL <sup>2</sup> E	SAMPLE	
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of TIVII her fea	& Blemishes pre	hadan 1000	1 11 111		SA SA	MP	lost has	SAMPLE	SAMPLE	SAMPLE SAMPLE	
3) Some evider	e trims refix prio nce of moisture au r clearances prio	round windo	ows witho	ut head	57	js instal	lled exter		SAMPLE	SAMPLE	
SAMPLE	SAMP SAMP	LE S	AMF	PLE	SA SA SA	MP	LE	SAMPLE SAMPLE SAMPLE	SAMPLE	SAMPLE SAMPLE SAMPLE	
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**SUMMARY:** This report has been provided for the exclusive use of the client **sector of the sector o** 

This report has been prepared in accordance with A.S 4349.1 by **Bob Sternberg** of **Homeworthy Inspection Services** with all reasonable care. This is not a structural report or a guarantee, but is a professional opinion on this building / structure with a view to its compliance with the relevant Acts and Regulations applicable at the time of construction. All inspections were carried out on a visual basis only. No demolition or removal of the building/structure was carried out. **Homeworthy Inspection Services** or its' agents are not experts in the fields of termite infestation or electrical installation and as such have excluded these areas from the ambit of this report.

## CONCLUSION:

This report has been prepared at the request of and exclusively for the use and benefit of the persons or company to whom it is addressed. **Homeworthy Inspection Services** nor its proprietors and employees do not undertake any responsibility to any persons other than the persons to whom it is addressed in any way whatsoever in respect of the content of this report, including any errors or omissions therein caused.

This report has been compiled solely from the evidence of a visual inspection only of the property concerned, without the removal of external or internal linings, roofing, flooring, and soil. This report is an assessment of the condition of the structures to the best of **Homeworthy Inspection Services** and its employee's abilities, competence and neither will be held responsible for areas of specialised knowledge such as electrical wiring and appliances, plumbing or sewerage installation, gas fittings and installations, infestations of timber destroying organisms, glazing & asbestos auditing etc.

No responsibility will be taken by **Homeworthy Inspection Services** nor its employees for the subsequent repairs carried out by persons beyond the control of this firm.

No enquiries or searches have been made of the Local Building Authorities, the Building Commissions, the Local Government Departments of the Main Roads, Valuer General's, or the Real Property Office unless instructed to do so specifically by the persons or company to whom this report is addressed.

In after perusing this report you find some points need clarification, please do not hesitate to contact us on 07 4666 6190 or 0429662492 as we are only too happy to assist. I take this opportunity to thank you again for your instructions.

NB: Should you require further information or clarification on the contents of this report please do not hesitate to contact

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ilding Inspector	SAMPLE	SAMPLE	SAMPLE	SAN Client/Te	mantAMPLE
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