

DEFINITIONS & REPORT

LEGEND

(in accordance with A.S 4349.1)

1. Major Defects MAJ

These are defects in building work that-

- a) Could result in water penetration of a building : or
- b) Could adversely affect the health or safety of occupants of a building : or
- c) That adversely affects the structural adequacy of a building
- d) Would require significant expenditure to rectify or bring to a reasonable standard.

2. Minor Defects MIN

This refers to any defect that

- a) Is not a major defect eg. hair-line cracks in cornices, doors sticking, shrinkage cracking generally etc; or
- b) Is deemed reasonable when considering the age type and standard of the building.

3. Access Unavailable AU

This refers to areas of the building that could not be accessed for any particular reason & as such was not inspected.

4. No Fault Found NF

This refers to areas of building work inspected but no "minor" or "major" defects identified.

5. Not Applicable NA

This refers to building work not covered or considered to form part of this report.

6. Not Inspected NI

This refers to building work not inspected & not included in this report format.

7. See Further Notes SFN

This refers to specific areas where the inspector believes that more information is to be given.



Homeworthy™
INSPECTION SERVICES

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PRE PURCHASE BUILDING REPORT

Inspection: 15-12-2016

Our ref: 15122106

Inspector: Bob Sternberg

CLIENT:

PH:

EMAIL:

MOBILE:

ADDRESS:

SITE ADDRESS:

REAL PROPERTY DESCRIPTION:

Present on Site:

Type of Building:

Type of Inspection:

Build Age (ESTIMATED):

Background Information:

ADDITIONAL COMMENTS:

Low set timber clad & Iron roofed dwelling on timber stumps.

Pre-Purchase Building Report

50 years

RE Agent meeting all @ 4.00 PM for access.



Photo 1 Front LH street view.



Photo 2 Front RH street view.

"A Practical Approach to Complexity"

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BUILDING EXTERIOR	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	COMMENTS
FOUNDATIONS / FOOTINGS		✓						Repack various stumps to level as required. Considered normal for the age on timber stumps.
MASONRY WALLS					✓			
EXTERNAL CLADDING		✓						Various dry rot evident in the timber corner stops present. Replace prior to repainting.
EXTERNAL DOORS		✓						Minor easing of clearances prior to repainting.
WINDOWS & AWNINGS		✓						Various replaced alluminium windows where there is nil overhang requires a flashing to prevent water penetration. Remedy prior to repainting.
SOFFITS		✓						Various loose timber trim exist repair prior to repainting.
FASCIAS		✓						Minor dry rot evident , repaint.
GUTTERS / DOWNPIPES		✓						Suggest improve the existing gutter outlets during the roof replacement. Complete downpipes to rubble pits away from the builing lins minimum 3 Metres.
ROOF	✓							Various replaced sheets of corrugated iron, the denting and previous leakage stains indicates that it is time to consider full replacement.
PAINTED SURFACES		✓						Finishes are just starting to crack & peel. Recommend repainting prior to a larger project.
BATTENING					✓			
PLUMBING		✓				✓		External toilet & Laundry exists. This structure has asbestos containing materials, only licenced removalists are to take from site should this be considered for demolition.
PERGOLAS/ PATIO		✓						Light weight patio roof exists along the front of dwelling. In fair condition.
FLASHINGS - ROOF	✓							Rear awning flashing requires refitting to seal and waterproof this ceiling below. Evidence is apparent from previous leaks.
FLASHINGS - WINDOWS		✓						Recommend flashing to be installed at windows of extension as nil protection is afforded to prevent leakage.
STAIRS / STEPS		✓						Minor repairs required to rear timber treads, as required prior to painting.

COMMENTS:

INTERIOR SUB-FLOOR/FRAME	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	COMMENTS
DRAINAGE / VENTILATION		✓						Maintain in a clear state , particularly clear away the front gardens from the building.
CONCRETE SLAB					✓			
SUPPORT POSTS	✓							Pack the extension bearer to remove bounce. Currently the floor is not supported within the centre of the sunroom.
BEARERS / JOISTS				✓				Minor typical undulations in levels observed.
PLUMBING / DRAINS						✓		New PVC plumbing drains installed in areas.
BRACING					✓			
TIE-DOWNS				✓				Typical of construction at the time, no visible faults observed.
DEBRIS / MATERIALS	✓							Maintain the subfloor free of debris at all times.

COMMENTS:



Photo 28 Kitchen in generally good condition.

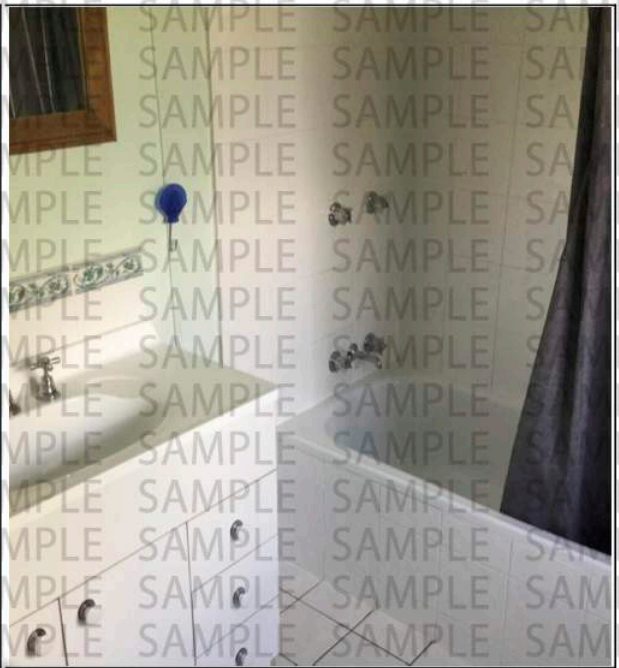


Photo 29 Bathroom.



Photo 30 WC in fair condition.



Photo 31

FURTHER NOTES (S.F.N):

GENERAL COMMENTS:

Generally this dwelling is in structurally sound condition.

FURTHER ACTION RECOMMENDED:

Repack the front internal stump to prevent floor bounce as reported.

AREAS OR SECTIONS OF BUILDING WHERE ACCESS SHOULD BE GAINED OF FULLY GAINED:

Nil apparent.

INTERIOR - GENERAL LIVING AREAS	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	HALLWAY ✓	LOUNGE ✓	DINING ✓	RUMPUS & STUDY
FLOOR FINISH		✓						1	1	1	
FLOOR COVERINGS		✓						1	1	1	
WALL LININGS		✓						2	2	2	
JOINERY				✓							
WINDOWS		✓							3		
DOORS		✓							4		
CORNICES		✓						1,2	1,2	1,2	
CEILING LININGS		✓						1	1	1	
PAINT WORK		✓						1	1	1	
HARDWARE				✓							
FIXTURES/FITTINGS				✓							

1) Minor mark & Blemishes present for the age.

2) Various loose trims refix prior to repainting.

3) Some evidence of moisture around windows without head flashings installed externally

4) Ease all door clearances prior to repainting.

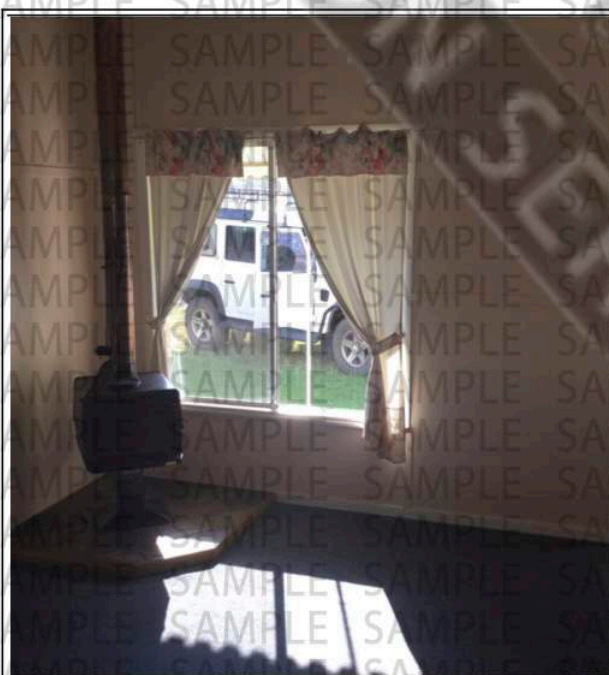


Photo 21 Lounge with fireplace.



Photo 22 Lounge/ Dining archway

INTERIOR - GARAGE	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	COMMENTS
FLOOR FINISH					✓			Only a carport available.
WALL LININGS					✓			
JOINERY					✓			
WINDOWS					✓			
DOORS / ROLLER / TILT ETC.					✓			
CORNICES / CEILING LININGS					✓			
PAINT WORK		✓						Paint finish peeling in places, recommend painting in due course prior to further deterioration.

COMMENTS:

INTERIOR ROOF SPACE	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	COMMENTS
ROOF FRAMING		✓						Minor undulations present in pitched hardwood roofing members, commensurate with time of original construction.
INSULATION/SARKING					✓			Nil installed.
PLUMBING					✓			Nil installed.

COMMENTS:



Photo 15 The structural hardwood Timber Pitched framing is generally in good condition.

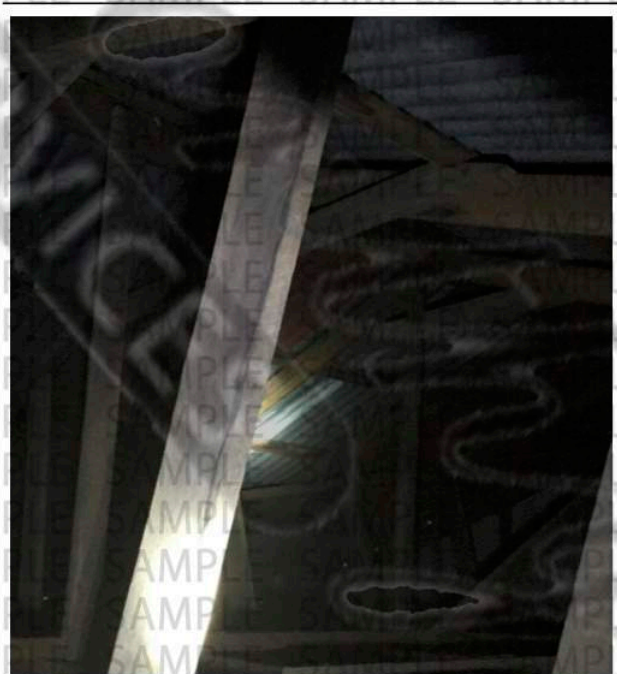


Photo 16 Struts positioned into the internal load bearing wall satisfactorily.

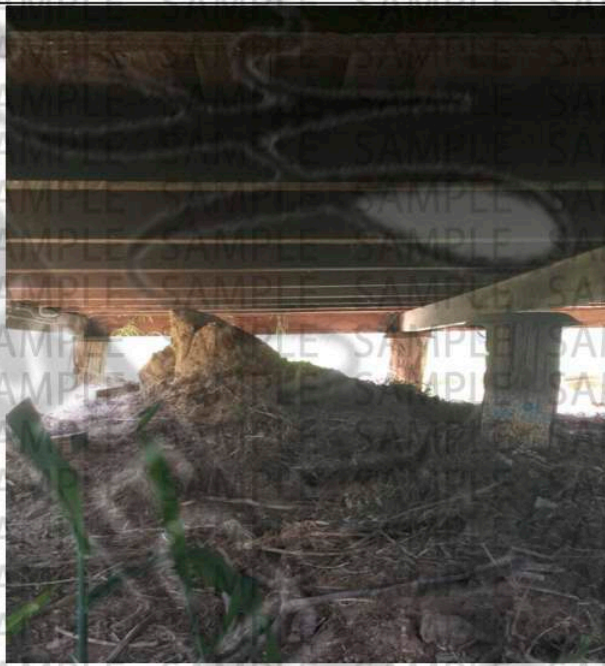


Photo 12 There is a pile of concrete & sand blend piled under the front RH extension. This should be removed away from the floor timbers as it poses a risk for entry by termites.



Photo 13 The adjacent timber stump to the gravel pile is not supporting the flooring and as such the extension sunroom floor is bouncing due to the lack of support.



Photo 14 Remove this pile of gravel & sand immediately.

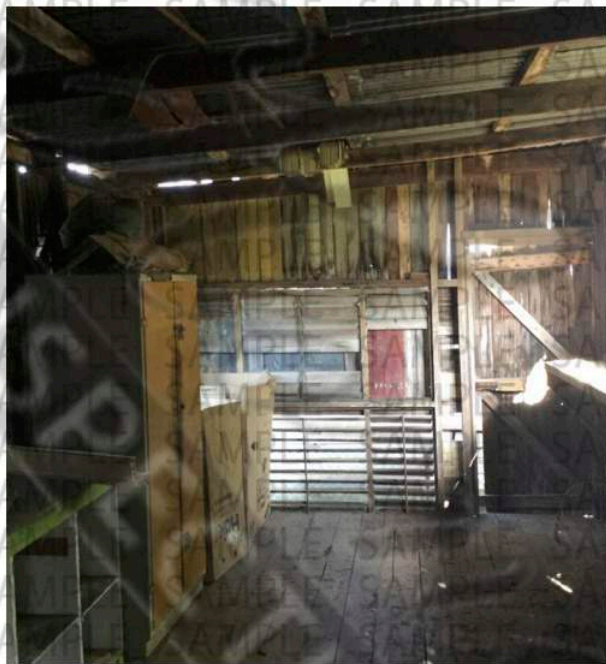


Photo 9 Various repairs required to rear shed beyond economic feasibility.

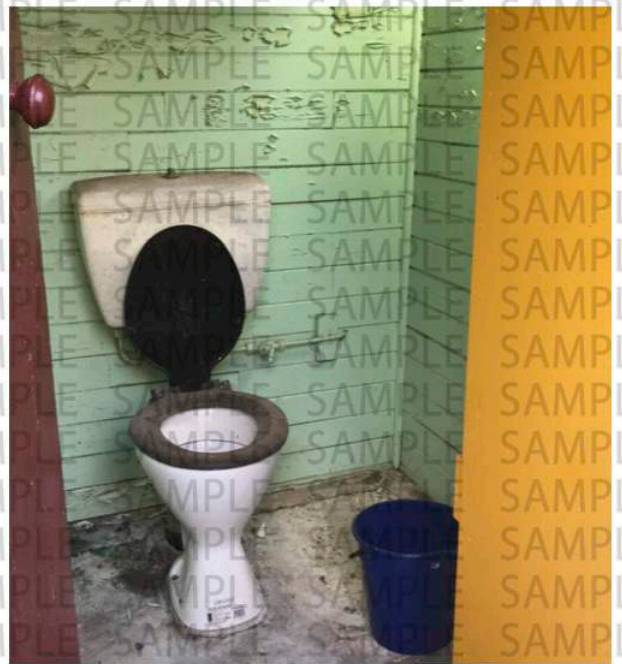


Photo 10 Rear WC installed in outbuilding. Asbestos containing materials.



Photo 11 Laundry installed adjacent in outbuilding.

SITE EXTERIOR	MAJ	MIN	AU	NF	NA	NI	SFN	COMMENTS
NEIGHBOURING PROPERTIES						✓		
SITE DRAINAGE		✓						Redivert rear RH corner downpipe away from the timber stumps.
TREES & GARDENS		✓						Minor trim of gardens away from the front LH side of property.
FENCES		✓						Various dilapidated iron fencing on LH side, chainwire in places. RH side portion of Colourbond fencing in good condition
CUT & FILL					✓			
POOL					✓			
GARAGES, OUTBUILDINGS.					✓			
RETAINING WALLS					✓			
DRIVEWAYS & PATHS		✓						Nil constructed from street.

COMMENTS:

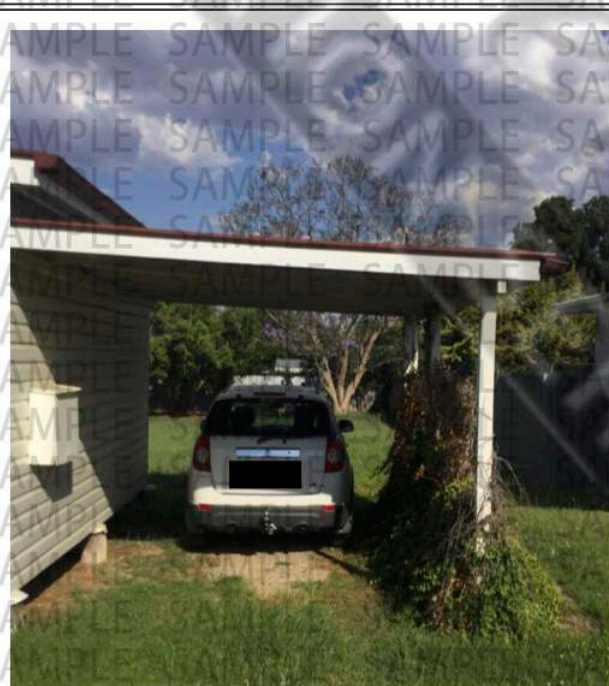


Photo 3 Carport on RH front side.



Photo 4 Front entry timber treads.



Photo 17 The roof sheeting in some parts has been replaced to arrest some previous leaks. As the roof is in the last of its expected life it is recommended that this be replaced in the medium term.

INTERIOR - BEDROOMS	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	BED1 ✓	BED2 ✓	BED3 ✓	BED4
FLOOR FINISH/COVERINGS		✓						1	1	1	
WALL LININGS		✓						1	1	1	
JOINERY		✓						2	2	2	
WINDOWS		✓								3	
DOORS		✓						4	4	4	
CORNICES/CEILING LININGS		✓						1	1	1	
PAINT WORK		✓						4	4	4	
BUILT-IN ROBES						✓					

- 1) Minor mark & Blemishes present for the age.
- 2) Various loose trims refix prior to repainting.
- 3) Some evidence of moisture around windows without head flashings installed externally
- 4) Ease all door clearances prior to repainting.

SUMMARY: This report has been provided for the exclusive use of the client [REDACTED] and their approved representatives only, and is not to be copied or re-produced in any shape or form by any other unauthorised parties / persons.

This report has been prepared in accordance with A.S 4349.1 by **Bob Sternberg** of **Homeworthy Inspection Services** with all reasonable care. This is not a structural report or a guarantee, but is a professional opinion on this building / structure with a view to its compliance with the relevant Acts and Regulations applicable at the time of construction. All inspections were carried out on a visual basis only. No demolition or removal of the building/structure was carried out. **Homeworthy Inspection Services** or its' agents are not experts in the fields of termite infestation or electrical installation and as such have excluded these areas from the ambit of this report.

CONCLUSION:

This report has been prepared at the request of and exclusively for the use and benefit of the persons or company to whom it is addressed. **Homeworthy Inspection Services** nor its proprietors and employees do not undertake any responsibility to any persons other than the persons to whom it is addressed in any way whatsoever in respect of the content of this report, including any errors or omissions therein caused.

This report has been compiled solely from the evidence of a visual inspection only of the property concerned, without the removal of external or internal linings, roofing, flooring, and soil. This report is an assessment of the condition of the structures to the best of **Homeworthy Inspection Services** and its employee's abilities, competence and neither will be held responsible for areas of specialised knowledge such as electrical wiring and appliances, plumbing or sewerage installation, gas fittings and installations, infestations of timber destroying organisms, glazing & asbestos auditing etc.

No responsibility will be taken by **Homeworthy Inspection Services** nor its employees for the subsequent repairs carried out by persons beyond the control of this firm.

No enquiries or searches have been made of the Local Building Authorities, the Building Commissions, the Local Government Departments of the Main Roads, Valuer General's, or the Real Property Office unless instructed to do so specifically by the persons or company to whom this report is addressed.

In after perusing this report you find some points need clarification, please do not hesitate to contact us on 07 4666 6190 or 0429662492 as we are only too happy to assist. I take this opportunity to thank you again for your instructions.

NB: Should you require further information or clarification on the contents of this report please do not hesitate to contact HIS.

Yours faithfully



Authorised Building Inspector
Homeworthy Inspection Services



Client/Tenant