

## DEFINITIONS & REPORT LEGEND

(in accordance with A.S 4349.1)

### 1. Major Defects MAJ

These are defects in building work that-  
a) Could result in water penetration of a building : or

b) Could adversely affect the health or safety of occupants of a building : or

c) That adversely affects the structural adequacy of a building

d) Would require significant expenditure to rectify or bring to a reasonable standard.

### 2. Minor Defects MIN

This refers to any defect that

-a) Is not a major defect eg. hair-line cracks in cornices, doors sticking, shrinkage cracking generally etc; or

-b) Is deemed reasonable when considering the age type and standard of the building.

### 3. Access Unavailable AU

This refers to areas of the building that could not be accessed for any particular reason & as such was not inspected.

### 4. No Fault Found NF

This refers to areas of building work inspected but no "minor" or "major" defects identified.

### 5. Not Applicable NA

This refers to building work not covered or considered to form part of this report.

### 6. Not Inspected NI

This refers to building work not inspected & not included in this report format.

### 7. See Further Notes SFN

This refers to specific areas where the inspector believes that more information is to be given.



**Homeworthy™**  
INSPECTION SERVICES

Authorised Building Inspector Bob Sternberg

P.O. BOX 1062, Warwick QLD

Ph: 07 4666 6190 | Fax: 07 4666 6190

Email: [homeworthyinspections@outlook.com](mailto:homeworthyinspections@outlook.com)

Mob: 0429662492

ABN: 27 226 300 149

Lic.: QBCC22079

## RESIDENTIAL DILAPIDATION REPORT

Inspection: 15-4-2017

CLIENT: Flametrees Tourist Village

Our ref: Flametrees

Inspector: Bob Sternberg

PH: 07 4946 9388

EMAIL:

[admin@flametreenvillage.com.au](mailto:admin@flametreenvillage.com.au)

MOBILE: 1800069388

ADDRESS:

2955 Shute Harbour Drive, Airlie Beach, QLD, 4802

SITE ADDRESS:

2955 Shute Harbour Drive Airlie Beach QLD 4802

REAL PROPERTY DESCRIPTION:

Present on Site:

Bob Sternberg Owners Caretaker, Fraser Culpin

Type of Building:

Caravan Park & Cabins

Type of Inspection:

Special Purpose Report

Build Age (ESTIMATED):

40 years

Background Information:

Detail damage following TC Debbie

Generally extensive tree damage present on site with typical roof and wall cladding requiring repair & replacement.

ADDITIONAL COMMENTS:



Photo 1 Street view from LH front corner.



Photo 2 Generally park consists of camping grounds, Self contained duplex cabins & ancillary structures.

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SITE EXTERIOR	MAJ	MIN	AU	NF	NA	NI	SFN	COMMENTS
NEIGHBOURING PROPERTIES	✓							Various areas of boundary fencing repairs required as a result of tree damage.
SITE DRAINAGE	✓							Generally overland flow has caused inundation of the street aligned villas & booking Office building. See photos below of topography.
TREES & GARDENS	✓							Tree damage extensive throughout park, make safe has been completed and is continuing during inspection.
FENCES	✓							Generally fencing requires repair, rural wire on boundaries generally
CUT & FILL		✓						Erosion in places, landscaping to complete and clear out gully.
POOL	✓							Pool inground concrete previous vinyl lined pool. Water has been removed for safety whilst the fencing / Barriers are down.
GARAGES, OUTBUILDINGS.	✓							Significant damage noted in photos below, generally the Office, rear private laundry shed, villas , BBQ structure and pool pump shed suffered damage.
RETAINING WALLS					✓			
DRIVEWAYS & PATHS		✓						Various damage to paving paths experienced due to fallen trees, removal and relaying to prevent trip hazards required.

#### COMMENTS:



Photo 3 Front signage damaged



Photo 4 Brick support pier damage LH side of driveway.



Photo 5 Main signage damage RH side of park entry.



Photo 6 Front lighting plinth damage. Electrical made safe.



Photo 7 Various tree damage made safe.



Photo 8 Erosion of driveway to Office. Considered landscaping.



Photo 9 Repairs to grounds and tree damage carried to make safe.



Photo 10 Tree damage to pool fencing, pool has been emptied to make safe.



Photo 11 Pool gate support piers (Masonry) damaged and collapsed under tree damage.

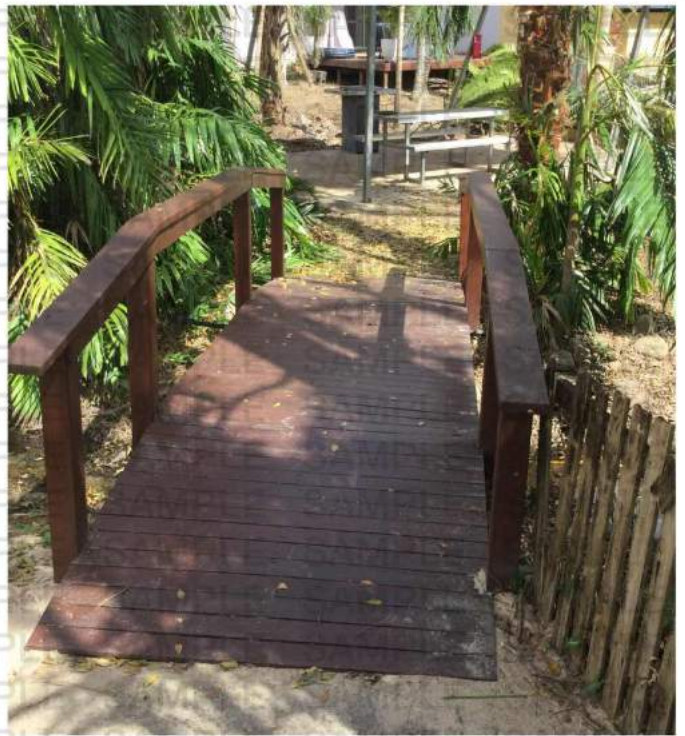


Photo 12 Minor repairs to timber bridge as a result of tree damage.



Photo 13 Tree damage to Alluminium guardrails of bridge.



Photo 14 Minor damage to public clothlines, considered repairable.



Photo 15 Security lighting damage to rear access road.



Photo 16 Timber guard rail damage to rear causeway.



Photo 17 Temporary repairs to timber guard rails performed.



Photo 18 Various extensive tree damage, site made safe along rear boundary.



Photo 19 Various repairs to camp Powered sites performed to make safe by trades.



Photo 20 Various damage street lighting present.

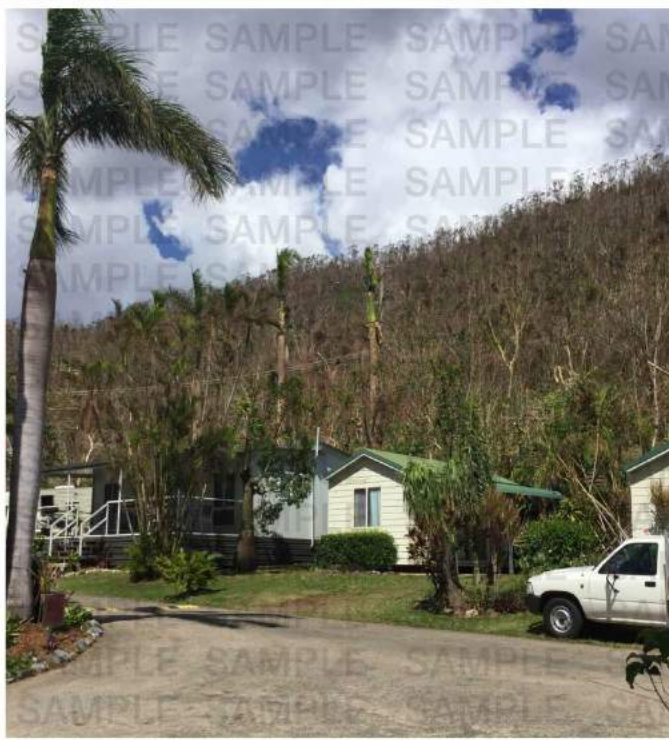


Photo 21 Street facing villas have recieved inundation due to extreme runoff from

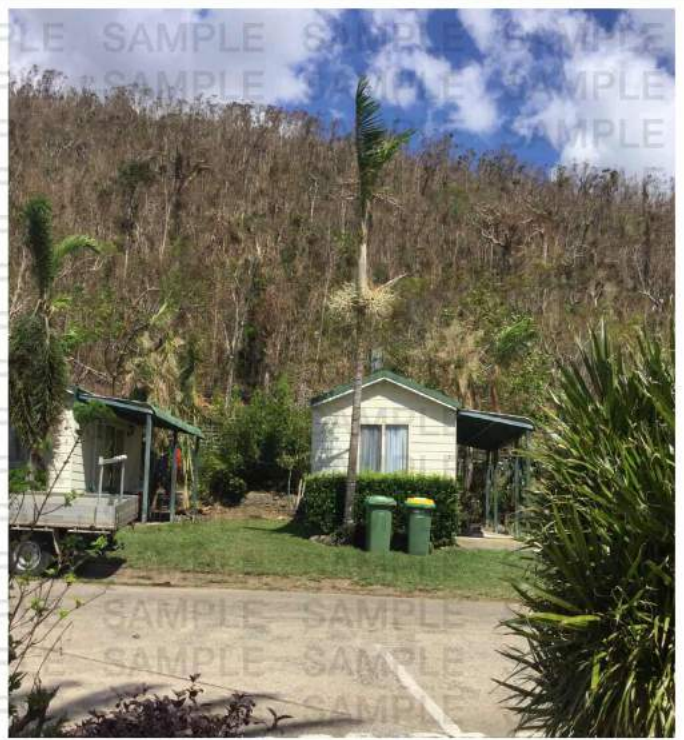


Photo 22

BUILDING EXTERIOR	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	COMMENTS
FOUNDATIONS / FOOTINGS	✓							Cabin 1 suffered uplift of the front LH corner of the front patio. refer to photos below. Provide repairs with new piers and H brackets.
MASONRY WALLS	✓							Dislocated masonry block base to cabin 1
EXTERNAL CLADDING	✓							Switchboard external cladding & Office building suffered damage to cladding in the main. Refer to specific building in photos below.
EXTERNAL DOORS	✓							Switchboard building door requires replacement. Private laundry shed doors damaged.
WINDOWS & AWNINGS		✓						Inundation has occurred in the villas causing moisture damage.
SOFFITS		✓						Various soffit damage visible to the Office building & Caretakers building.
FASCIAS		✓						Minor damage present.
GUTTERS / DOWNPIPES	✓							Various repairs & replacement required.
ROOF	✓							Tree damaged components to specific buildings as noted.
PAINTED SURFACES		✓						Repainting all damage as required.
BATTENING					✓			
PLUMBING		✓						Various repairs have been carried out to Amenities buildings, damaged external wastes and the like.
PERGOLAS/ PATIO	✓							BBQ & Pool equipment shelter suffered tree damage.
FLASHINGS - ROOF	✓							Various damage suffered to buildings refer to specific photos for the building in the photos below.
FLASHINGS - WINDOWS	✓							External awnings damage to Cabins noted. Repair & replace required.
STAIRS / STEPS	✓							Access bridges damage to Guardrails where noted.

COMMENTS:



Photo 23 External cladding damage to Switchboard room. ACM to be verified.

Photo 24 Evidence of uplift on Switchboard room visible at bottom plate failure.



Photo 25 Main Tourism office daaged by water inundation to timber floor. Retoration and make safe required due to moisture effects on flooring.

Photo 26 Uplift of external wall adjacent entry visible. ACM is to be verified.



Photo 27 Rear of Office building gutter damage & floor inundation.

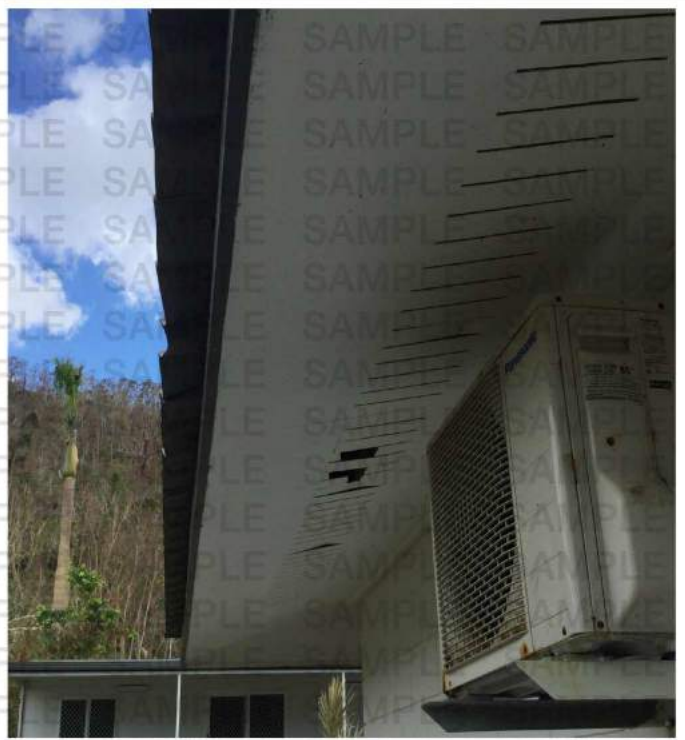


Photo 28 Damaged vented soffit sheeting to main caretakers residence at rear. Nil gutters to roof from existing.



Photo 29 Tree damaged BBQ shelter adjacent to Pool area.



Photo 30 Tree damaged onsite caravan beyond economical repair.



Photo 31 BBQ Shelter suffered tree damage, beyond repair.



Photo 32 BBQ Electrical to be verified for make safe.



Photo 33 Roof damage to amenities awning .



Photo 34 Accessible WC considered an essential building, various roof repairs required.



Photo 35 Main amenities building various minor repairs to roof required.



Photo 36 External camp kitchen hexagonal shaped roof, general sound, structure has racked out of plumb, reposition true and replace poles and rails as required.



Photo 37 Various broken log rails present from tree damage, repair & replace as required to Camp Kitchen.



Photo 38 Cabin 1 Suffered uplift to ront awaing patio roof, lifting the slab from the block base



Photo 39 Evidence of uplift on the front LH corner of Cabin 1



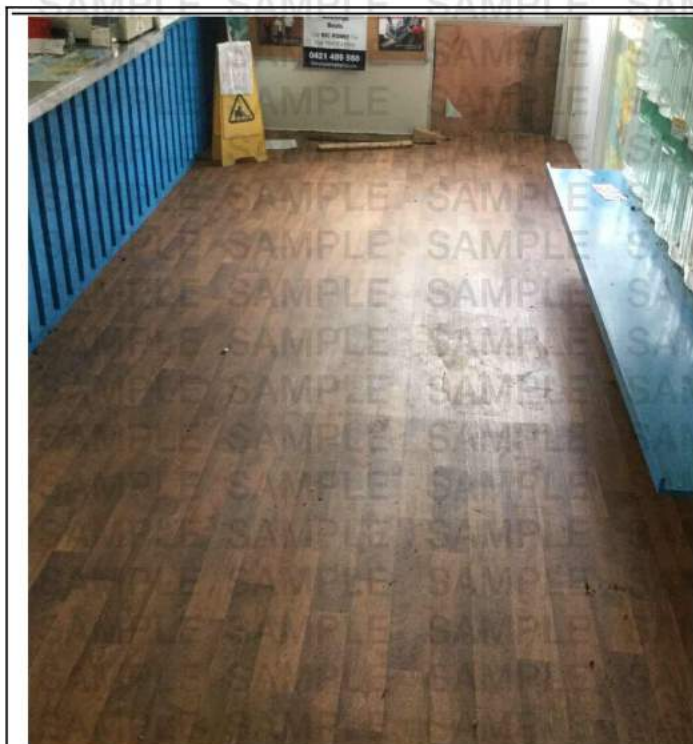
Photo 40 Tree damage of Cabin 1 rear patio roof. Repair & replace effected timber rafters and framing to rear LH corner.



Photo 41 Rear of Cabins existing without gutters. Noted.

INTERIOR SUB-FLOOR/FRAME	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	COMMENTS
DRAINAGE / VENTILATION	✓		✓					Office building inundated floor. Restore and remove damaged floorcoverings and dry out cavities. Unable to inspect office sub-floor due to restricted height above ground.
CONCRETE SLAB	✓							Rear office slab requires removal of floorcoverings.
SUPPORT POSTS	✓							Office building & Cabin 1 damage present. Refer to photos below for specifics.
BEARERS / JOISTS	✓		✓					Moisture laden Office floor exists, unable to fully assess condition until exposed
PLUMBING / DRAINS						✓		
BRACING	✓							Camp Kitchen building racked due to high winds.
TIE-DOWNS	✓							Upgrade defective tie-down to Cabin 1 & Office Building as required.
DEBRIS / MATERIALS	✓							Significant tree damage & debris has been cleared away during inspection.

#### COMMENTS:



Photoss42 Office building, Floor inundation, vinyl flooring moisture entrapped underneath.

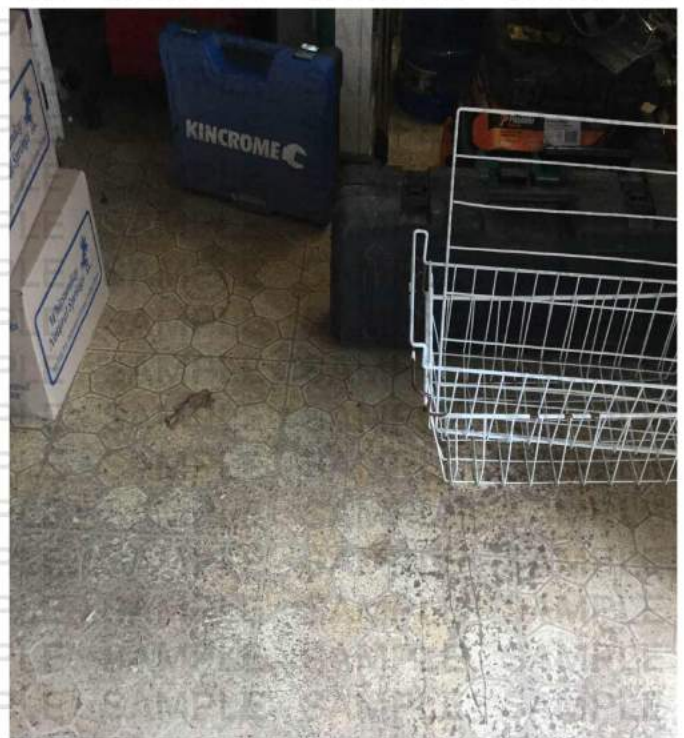


Photo 43 Office building rear slab moisture underneath vinyl flooring. ACM Materials to be verified.



Photos44 Privatelaudry shed damaged in doors and wall sections.

Photo 45 Damaged laundry shed wall panels.

INTERIOR - GARAGE	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	COMMENTS
FLOOR FINISH					✓			
WALL LININGS	✓							Damage present to Office building & Switchboard room. Repair & replace as required.
JOINERY		✓						Swollen skirtings and primary building elements noted due to water inundation of Office & Villas.
WINDOWS		✓						Water penetration has caused moisture damage to Villas.
DOORS / ROLLER / TILT ETC.	✓							Caretakers residence roller door damage present.
CORNICES / CEILING LININGS		✓						Minor cracking to various sheeting.
PAINT WORK		✓						Repaint all repaired works as required to match existing.

COMMENTS:

INTERIOR ROOF SPACE	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	COMMENTS
ROOF FRAMING			✓					
INSULATION/SARKING			✓					Wind driven rain has penetrated the Office building.
PLUMBING						✓		

COMMENTS:

INTERIOR - BEDROOMS	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	BED1 ✓	BED2	BED3	BED4
FLOOR FINISH/COVERINGS	✓							1			
WALL LININGS		✓						1			
JOINERY		✓						2			
WINDOWS		✓						2			
DOORS		✓						3			
CORNICES/CEILING LININGS		✓						4			
PAINT WORK		✓						5			
BUILT-IN ROBES				✓							

1 ) Moisture inundation of Villa units has occurred.

2 ) Evidence of moisture penetration exists

3 ) Moisture damage to doors present to Villas.

4 ) Minor cracking present due to movement uplift deflections.

5 ) Repaint repaired works as required.

INTERIOR - GENERAL LIVING AREAS	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	HALLWAY ✓	LOUNGE	DINING ✓	RUMPUS & STUDY
FLOOR FINISH	✓							1		1	
FLOOR COVERINGS	✓							1		1	
WALL LININGS		✓						2		2	
JOINERY		✓						2		2	
WINDOWS		✓						2		2	
DOORS		✓								3	
CORNICES		✓								4	
CEILING LININGS		✓						4		4	
PAINT WORK		✓						5		5	
HARDWARE				✓							
FIXTURES/FITTINGS		✓						2		2	

1 ) Moisture inundation of Villa units has occurred.

2 ) Evidence of moisture penetration exists

3 ) Moisture damage to doors present to Villas.

4 ) Minor cracking present due to movement uplift deflections.

5 ) Repaint repaired works as required.

INTERIOR - WET AREAS	MAJ	MIN	AU	NF	NA	NI	PHOTO YES OR NO	ENSUITE	W.C ✓	BATH ✓	L/DRY	KIT/N ✓
FLOOR FINISH/COVERING									1	1		1
WALL LININGS		✓										2
JOINERY		✓										2
WINDOWS		✓										2
DOORS		✓										3
CORNICES/CEILING LININGS		✓										3
PAINT WORK		✓							5			5
SHOWER RECESS				✓								
BATH-TUB					✓							
VANITY		✓								2		2
FIXTURES/FITTINGS		✓								2		2
TAPWARE/SERVICES				✓								

1 ) Moisture inundation of Villa units has occurred.

2 ) Evidence of moisture penetration exists

3 ) Moisture damage to doors present to Villas.

5 ) Repaint repaired works as required.

#### FURTHER NOTES (S.F.N):

#### GENERAL COMMENTS:

Generally damage is isolated in the main from water penetration and tree damage.

#### FURTHER ACTION RECOMMENDED:

Assess and replace all damaged components following exposure to dry out cavities.

#### AREAS OR SECTIONS OF BUILDING WHERE ACCESS SHOULD BE GAINED OF FULLY GAINED:

Office Roof structure & Sub-Floor areas to determine extent of works required.

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This report has been prepared in accordance with A.S 4349.1 by **Bob Sternberg** of **Homeworthy Inspection Services** with all reasonable care. This is not a structural report or a guarantee, but is a professional opinion on this building / structure with a view to its compliance with the relevant Acts and Regulations applicable at the time of construction. All inspections were carried out on a visual basis only. No demolition or removal of the building/structure was carried out. **Homeworthy Inspection Services** or its' agents are not experts in the fields of termite infestation or electrical installation and as such have excluded these areas from the ambit of this report.

#### CONCLUSION:

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In after perusing this report you find some points need clarification, please do not hesitate to contact us on 07 4666 6190 or 0429662492 as we are only too happy to assist. I take this opportunity to thank you again for your instructions.

NB: Should you require further information or clarification on the contents of this report please do not hesitate to contact HIS.

Yours faithfully



Authorised Building Inspector  
Homeworthy Inspection Services



Client/Tenant